

**ALBERTA GOVERNMENT SERVICES
LAND TITLES OFFICE**

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CAVEAT

TO THE REGISTRAR OF THE ALBERTA LAND TITLES OFFICE

TAKE NOTICE that **JENSEN LAKES HOMEOWNERS ASSOCIATION** of Edmonton, in the Province of Alberta, (the "Caveator"), claim an interest under and by virtue of a Restrictive Covenant in writing, dated July 6, 2022, and made between **VILLENEUVE COMMUNITIES INC.**, as registered owner, and the Caveator whereby the said registered owner and the Caveator agreed, all in accordance with the terms of the said Restrictive Covenant, a true copy of which is attached to and forms part of this Caveat, in the lands described as follows:

See Schedule "A" attached hereto.

standing in the register in the name of **VILLENEUVE COMMUNITIES INC.**, and the Caveator forbids the registration of any person as transferee or owner of, or of any instrument affecting the said estate or interest, unless the instrument or Certificate of Title, as the case may be, is expressed to be subject to the Caveator's claim.

THE CAVEATOR DESIGNATES 900, 10310 Jasper Avenue, Edmonton, AB, T5J 1Y8, as the place at which notices and proceedings relating hereto may be served.

Dated this 6th day of July, 2022



AFFIDAVIT IN SUPPORT OF CAVEAT

I, MICHAELA DAVIS, of the City of Edmonton, in the Province of Alberta, MAKE OATH AND SAY AS FOLLOWS:

1. That I am Agent for the Caveator.
2. I believe that the said Caveator has a good and valid claim upon the said land and I say that this Caveat is not being filed for the purpose of delaying or embarrassing any person interested in or proposing to deal therewith.

SWORN BEFORE ME Tanya Eklund
at the City of Edmonton, in the
Province of Alberta, this 6th
Day of July, A.D. 2022

MICHAELA DAVIS

A COMMISSIONER FOR OATHS IN AND
FOR THE PROVINCE OF ALBERTA

TANYA L. EKLUND
COMMISSION EXPIRES
MAY 24th, 2025

SCHEDULE "A"

PLAN 222 1193

BLOCK 4

LOTS 53 - 61 INCLUSIVE

EXCEPTING THEREOUT ALL MINES AND MINERALS

RESTRICTIVE COVENANT

MADE AS OF THIS 6th day of July, 2022

BETWEEN:

VILLENEUVE COMMUNITIES INC.,
a body corporate incorporated under the laws of the Province of Alberta
(hereinafter called the "Grantor/Grantee")

OF THE FIRST PART

- and -

JENSEN LAKES HOMEOWNERS ASSOCIATION,
a society incorporated under the Societies Act of Alberta, with
registered office at 900, 10310 Jasper Avenue, in the City of
Edmonton, in the Province of Alberta, T5J 1Y8
(hereinafter called the "Grantee")

OF THE SECOND PART

RESTRICTIVE COVENANT

WHEREAS:

- a. The Grantor/Grantee is the registered owner of the Dominant Lands and the Servient Lands described in Schedule "A" hereto situate in City of St. Albert, Alberta.
- b. The Grantor/Grantee intends to impose a scheme of mutually enforceable restrictions with respect to the use and improvements on the Lands in order to preserve the integrity of the Development.

NOW THEREFORE:

The Grantor/Grantee as registered owner of the Servient Lands described in Schedule "A" does grant and the Grantor does hereby declare, establish, impose and annex to the Servient Lands and each and every portion thereof for the benefit of the Dominant Lands, the following stipulations, restrictions, guidelines and provisions to run with the Lands and be binding upon the owners from time to time of the Lots:

1. In this Restrictive Covenant, including the preamble, the following words and expressions shall have the meaning herein set forth:
 - a. "Architectural Committee" means a committee established by the Grantor/Grantee for so long as the Grantor/Grantee remains an Owner, and thereafter established by the Homeowners Association;

- b. **"Development"** means the residential subdivision plan within which the Lots are located;
 - c. **"Dominant Lands"** means the leasehold and easement interests of the Homeowner's Association, granted to the Homeowner's Association in the lands described in Schedule "A" hereto;
 - d. **"Dwelling"** means any residential dwelling constructed on any of the Lots;
 - e. **"Guidelines"** means the Architectural and Construction Guidelines attached hereto as Schedule "B" and as may be amended from time to time by the Architectural Committee;
 - f. **"Homeowners Association"** means the Jensen Lakes Homeowners Association;
 - g. **"Lands"** means the lands described in Schedule 'A' hereto;
 - h. **"Lot"** means one of the lots described in Schedule 'A' hereto and any further subdivision of such lots;
 - i. **"Owner"** means a registered owner in fee simple of a Lot;
 - j. **"Restrictions"** means the provisions, restrictions and stipulations contained in Paragraph 2 of this Restrictive Covenant;
 - k. **"Restrictive Covenant"** means this agreement as the same may be amended from time to time and the expressions "herein", "hereof", "hereto", "above", "below", and similar expressions if used in any article, section or paragraph of this agreement refer to this agreement including the schedules hereto and do not refer solely to a particular article, section or paragraph unless specifically stated herein;
 - l. **"Servient Lands"** means the lands described as such in Schedule 'A' hereto.
2. For each of the Lots comprising the Servient Lands, for the benefit of the Dominant Lands, the following restrictions, stipulations and provisions are to run with the Lands, namely:
- a. No recreational vehicles or trailers shall be parked in a residential district at a single location for a period exceeding 24 consecutive hours, as required by Municipal Bylaw and as amended from time to time.
 - b. No satellite dishes shall be roof-top mounted, if it has a diameter greater than 0.5 metres; located in a front of said yard; less than 1 metre from side of rear property lines; more than 4 metres in height from finished grade unless it is roof-top mounted; or greater than 3.5 metres in diameter, as required by Municipal Bylaw and as amended from time to time.
 - c. No Radio or television aerials or antenna of any kind shall be erected, constructed or located in a front or rear yard.

- d. No construction of the Dwelling may commence unless the building plans have been approved by the Architectural Committee;
 - e. No dwelling may be constructed unless said Dwelling conforms with the Guidelines attached hereto as Schedule "B";
3. If any of the Restrictions herein or the application thereof to any part or any circumstances shall be held by any Court of competent jurisdiction to be invalid or unenforceable to any extent, then such Restriction shall be severed from the remainder of this Restrictive Covenant, and the remainder of this Restrictive Covenant or application of such Restriction to a party or circumstance other than those to which it is held invalid or unenforceable shall not be affected thereby and each of the remaining Restrictions of this Restrictive Covenant shall be valid and enforceable to the fullest extent permitted by the law.
4. This Restrictive Covenant is in addition to the requirements of the municipal or other government authorities having jurisdiction in respect of the use of the Lands, and nothing contained herein shall be construed as permitting or authorizing anything which is prohibited, controlled or regulated by any statute, bylaw, regulation or like enactment having the force of law and having application to the lands.
5. Nothing herein shall require or oblige the Grantee to enforce this Restrictive Covenant or render the Grantee liable for the failure of any of the Owners from time to time of the Lots to adhere to or conform with the Restrictions contained in this Restrictive Covenant, it being the intention to attach to each of the Lots and the Owners thereof the obligation for compliance with this Restrictive Covenant.
6. The Restrictions contained in this Restrictive Covenant shall be binding upon and enure to the benefit of the Owner from time to time of each of the Lots and the Grantee and the restrictions herein shall run with the Lands and each of the Lots.

IN WITNESS WHEREOF these presents have been executed by each of the parties hereto the day and year first above written under its corporate seal and by the hands of its officers duly authorized in that behalf.

VILLENOUVE COMMUNITIES INC.

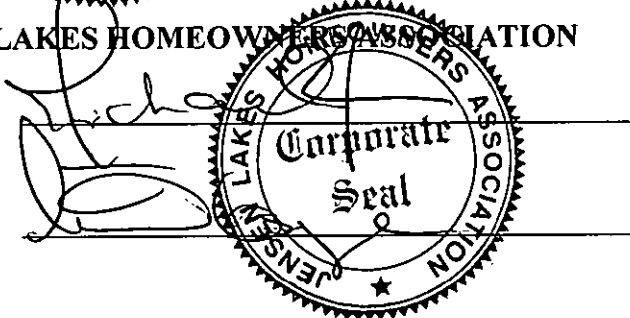
Per:

Per:

JENSEN LAKES HOMEOWNERS ASSOCIATION

Per:

Per:



SCHEDULE "A"
TO RESTRICTIVE COVENANT AGREEMENT

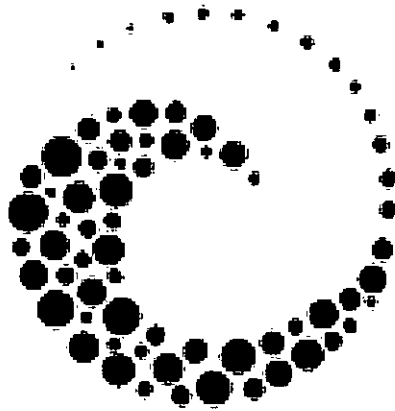
The Current Lots are legally described as follows, all being lots shown on the subdivision plan registered as Plan No. 222 1193, namely:

Block 4, Lots 53 – 61 inclusive

SCHEDULE "B"

ARCHITECTURAL AND CONSTRUCTION GUIDELINES

"SCHEDULE B"



Jensen Lakes

SHORELINE COLLECTION
ESTATE HOMES

ARCHITECTURAL AND LANDSCAPE GUIDELINES
STAGE 15



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Architectural and Landscape Guidelines

Phase 7

Shoreline Collection

Estate Homes

The Community

Meticulously planned, Jensen Lakes is master planned with everything you can dream of for your new home. Sand beaches, a stunning beach club, urban landscaping, exquisite homes, recreational parks and ponds, open spaces, shops and services and an extensive master planned pathway system.

Jensen Lakes Phase 7 introduces the first collection of lake front and lake access homes in the Jensen Lakes community.

Objective

The general objective of these guidelines is to express lifestyle through design, creating interesting and cohesive streetscapes of varied architectural styles, that are distinctive and uniquely unified.

Architectural Theme

The extraordinary setting of this lake community with its lifestyle amenities, will create the casual sophisticated 'lakestyle living'.

Streetscapes

Streetscapes will be comprised of six distinctive styles. Encouraging originality and individual expression, style preferences will be selected from Prairie, French Country, Coastal Farmhouse, Modern Beach, Coast Nouveau and Craftsman. Each building in the streetscape will contribute to the visual identity of the neighborhood. Scale and massing will reflect architectural intent with relaxed and airy features. With an emphasis on relationship, the integration of design styles will be compelling.



General

The developer's architectural consultant will review all homes in the community to ensure compliance with all aspects of the architectural guidelines before being permitted to proceed for permits and construction. All construction must comply with all local building codes and ordinances.

Site Planning and Grading

Setbacks

General setbacks on all lots will be governed by the minimum setback requirements as per the City of St. Albert by-law requirements.

Front Setback

The developer's architectural consultant will monitor front setbacks. To create more interesting streetscapes variety will be provided in the front setbacks along the street.

In areas where a more expansive street ambience is desired an increase in the minimum front setback will be utilized and variety between units will occur.

Homes with greater massing will require increased setbacks to reduce their dominance on the street.

Conformance with Grading Plans

Lot grading must be in strict conformance with the approved grading plans. Variations should be absorbed within the building mass to minimize steep slopes and contrast between lots.

All plot plans and stakeouts must be done by the designated surveyor, to provide consistency in establishing building elevations throughout the neighborhood.

Risers and Entry Steps

The 'Lakestyle' is low and grounded. Generally, three or less risers at the entry step, reinforces this style.

Front entry steps are restricted to a maximum of four risers per set. Where the grade or design call for more than four risers, the run must be split.

Parging

Exposed concrete and parging will be restricted to a maximum of 24" at all elevations.

Retaining Structures

Retaining structures are the responsibility of the property owner and must not compromise the grading design and lot drainage. Natural elements such as rock and wood are preferred for construction of retaining walls. Landscape block can also be utilized and concrete is acceptable if appropriately finished to view. Retaining structures over 1.2m

Garage and Driveway

Front attached garages are required, located in accordance with the garage location plan and designed to integrate and minimize the garage appearance while emphasizing the architectural features and massing of the house.

Front Drive Configuration

Driveway is not to exceed the width of the garage, to the garage front, where the width may then flare to include a walkway to the front and/or rear yard.

Side Drive Configuration

Driveway will be no wider than 22' at the street or boulevard, flaring out in an undulating configuration to the garage entrance.

The driveway cannot be extended in front of the garage.

Side drive will require a 1.5m integrating strip of landscaping between the driveway and the property line.

The Builder/Purchaser is responsible to ensure there are no obstructions or hindrances to the side driveway and minimum clearance is maintained to the satisfaction of local approving authorities. The Builder/Purchaser shall also be responsible for the relocation and hardiness of any boulevard tree(s) that conflict with the driveway configuration. Side driveways will not be permitted on corner lots.

Driveway Material

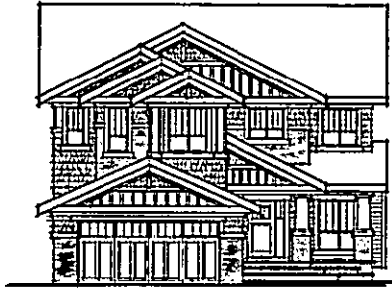
Driveway, entry, and walkway will be constructed of an upgraded surface, such as Exposed Aggregate.

Design Requirements

Style Profiles

Streetscapes will be comprised of five distinctive styles. Encouraging originality and individual expression, style preferences will be selected from Modern Beach, Prairie, Craftsman, French Country, Coast Nouveau and Coastal Farmhouse. Each home will draw details and characteristics from only one architectural style.

Acceptability of design style will rest solely with the Developer.



Craftsman

The Craftsman home is characterized by low slung roof lines and an articulated façade.

Gabled or hip roofs with inset front facing gables, minimum 5/12 roof pitch and maximum 7/12 with 24" overhangs. All gables to include 6" shadow band and stepped shadow bands are recommended.

Massing reflects an articulated façade with variations in plane and roof lines.

Entry veranda or porch enclosed with a roof line at the first level.

Columns/posts are minimum 10" panel clad with collar trims or a substantial upper post with oversized base, typically stone clad.

Craftsman homes are finished in smooth stucco or Traditional profile composite lap siding. Simple raised trim details are composite board or metal clad on both siding and stucco cladding. Trims are minimum 5" and may include a sill detail.

Additional finishes at visible elevations are layered horizontally and include flat panel with raised battens, shakes and Board & Batten vertical siding. Stone is applied in panel effect. Stone profiles suited are Mountain Ledge, Rustic Ledge, Cliffstone and Bluffstone.

Windows are vertical in orientation and ample with minimum 5/8" grills in traditional pattern.

Colors suited to the Craftsman style are medium earth tones or historical colors accented by light contrasting trims.



French Country

The French Country home is dominated by steep sloping hip roofs which may include prominent front facing cross gables.

The massing is elegant and timeless.

Roof slopes are minimum 8/12 front to back with 10/12 side slopes or minimum 9/12 overall with 12" to 18" overhangs. Narrow dormers are a common feature.

Recessed portico entries are enclosed at the first level and may be framed by a roof above.

Multi-paned windows are vertical in orientation and may be separated by a narrow space or ganged.

Glazing is balanced and organized. Window grills may be full or upper sash with a grid pattern of 4 to 10 panes per sash. Windows may be arched in a soft curve at the top (elliptical).

Bay, bow, and boxed out windows may be features, often with a curved shed roof line.

Decorative moldings are typically installed at crown and sill of windows, often combined with panel shutters to match window shape. Cornice moldings are installed at eave lines in combination with stepped shadow bands at gables. Quoining may add definition at stucco or stone work.

The home is clad in smooth stucco, stone, or brick. Siding is not permitted on the French Country style.

Brick or stone is applied in panel effect and accented with heavy top trim. Stone profiles suited are Cobblestone, Cypress Ridge, Hillstone, Limestone, Field Ledge and Cliffstone.

Colors suited to the French Country home are mid to light earth tones with a light, soft contrast at the fascia and accents. Trims may also be the same color as the wall cladding. Stone colors are tonal and complimentary.



Modern Beach

Characterized by vertical emphasis, symmetry and simplicity. Massing is balanced and graceful. Roofs are gables or shed, front and side facing at minimum 8/12 pitch with 12" overhangs. Cottage roof lines are not suited.

Entry depth is 5', with a roof cover at the first level. A flat roof cover of 4' is well suited. Roof is supported by 10" x 6" or 10" x 10" columns with narrow collar trim top and bottom.

Windows have vertical orientation, are expansive, and may be single or ganged units with transoms. Window grills are not suited. Boxed out windows may be a feature, however bay or bow windows are not appropriate. Feature windows do not include octagonal, elliptical, round or rake.

Slim trims are installed at the crown and sill only, extending no more than 1 1/2" past frame.

Gables are finished in a combination of flat panel with raised battens and Board & Batten vertical siding.

Shutters and louvers are not suited.

The home is clad in siding or stucco with stone applied in panel effect only. Stone profiles suited are Stacked stone or Ledge stone in light, tonal colors.

Colors suited are muted, beachy shades at the walls with tonal fascia and trims.

Prairie

The Prairie home is characterized by gently sloping hip roofs and low proportions.

Massing is understated with horizontal emphasis and simplified forms.

Hipped roof lines with a minimum 5/12 and maximum 6/12 roof pitch and 24" or wider overhangs.

Second floor development above the garage is required and will include a minimum two variations in wall plane and extend no more than 75% of the garage projection.

Entry is recessed and covered at the first level and defined by large square columns.

Windows are expansive, organized and consistent in shape with rectangular transoms or a single horizontal grill or mullion at the window.

Boxed out windows may be a feature, while bay and bow windows are not suited.

Trims and surrounds are 6" simple yet definite, emphasizing the horizontal.

Large, heavy angular knee braces are a feature.

Flat panel details or B & B profile siding are layered horizontally at visible elevations.



The Prairie home is clad in smooth stucco or Traditional profile composite lap siding with stone applied in panel effect. Stone profiles suited are Stacked stone, Mountain Ledge, Cliffstone, and Brick.

Colors suited to the Prairie style are warm earth tones with lighter, complimentary trims and tonal stone.

Coast Nouveau

The Coast Nouveau is characterized by flat roofs in multiple levels, sleek lines and understated style.

Massing is considerate and sophisticated with the creation of layers and stepped planes.

Flat roof lines will include a 12" to 16" fascia with shallow ledge or coping and 24" overhangs.

Second floor development above the garage is required and will project a minimum of 40 per cent of the garage projection and a maximum of 70 per cent.

Entrances include cover within the height of the main floor, supported by slender aluminum clad or steel columns.

Windows are expansive and vertical in orientation with 5/16" grills in a unique pattern. Small square feature windows may add interest.

This style is linear as angles are not suited.

Trims are applied irregularly at openings. A trim band may be installed under eaves.

The home is clad in siding only, applied horizontally with ledge stone applied in panel effect. Straight edge shakes will enhance the presentation.

Colors suited are muted shades at the walls with tonal fascia and trims.

Sloped roofs may be considered on an individual basis for the Coast Nouveau, with cohesive combinations of roof style with minimal slopes and multiple levels (roof styles cannot be combined).





Coastal Farmhouse

The Coastal Farmhouse style evolved from the massing and form of a traditional Craftsman style exaggerated with steep rooflines and clean, modern features.

Massing is strong and expressive through the layering of multiple rooflines and types.

Front facing steep gable rooflines of a 10/12 pitch or greater are a predominant feature softened by lower sloped shed roof accents or dormers.

Smaller overhangs of a minimum of 12" are typical.

Front entrances will include verandah spaces with simple 10"x10" columns and straight picket, glass or no railing.

Windows are expansive with repetitive square or rectangular patterns. Modern window configurations are also suitable to the Coastal Farmhouse style.

The home is clad in horizontal siding with large features enhanced with vertical board and batten siding or smooth, straight edged shingles.

Battens and trims will have a simple straight profile.

Masonry accents will be applied to provide overall grounding of the home.

Exterior colors may include a wide variety of siding shades often with low contrast fascia and trims.

House Size, Width, and Massing

Houses are to have a consistency of mass and volume within the streetscape. As such, house widths and sizes must relate proportionately to the lot width and neighboring houses.

- Massing, style, and setback may be adjusted on a lot to lot basis, to enhance the streetscape.
- Front entrances are to be covered at the first level.

Minimum House Width

Minimum house width requirements are established so that all houses will fill the lot width available and provide as much frontage to the street or high profile areas as possible.

- The minimum house width on all lots is to be within 2' of the buildable lot width (building pocket).
- The minimum width is to be achieved at both the front and the rear of the home on all the HIGH visibility lots (Block 11 Lots 2 – 5).
- Homes incorporating an offset covered deck area will be reviewed on an individual basis for consideration in meeting the minimum width and massing requirements at the rear elevation, on high visibility lots.
- The minimum width is required at the front only on MODERATE visibility lots (Block 11 Lots 6 – 17, Block 4 Lots 44 – 52).
- The minimum width requirement is to be achieved on both the main and upper floors unless the overall style of the house permits otherwise.
- Pie shaped lots may incorporate a wider garage offset, with appropriate massing of the home.

Minimum Entry Width

The minimum width for the front entry, measured on the exterior of all homes in Jensen Lakes Stage 7 Shoreline Collection will be 10'.

Garages

Oversized (24'+) and triple garages must include articulation in the form of a minimum 12" jog, to break up the expanse of flat wall plane and roof line.

Oversized double garages must include a street facing window.

Garage Frontage Maximum

The garage frontage on all homes is not to exceed 75% of the overall front width of the home.

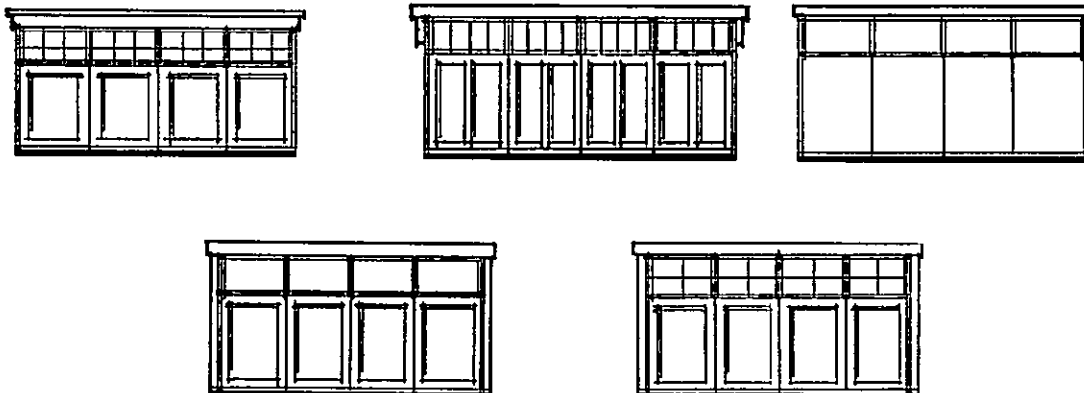
Oversized Garages

Oversized (24' +) and triple garages must include articulation in the form of a minimum 12" jog, to break up the expanse of flat wall plane and roof line. Oversized double garages will include a street facing window.

Overhead Doors

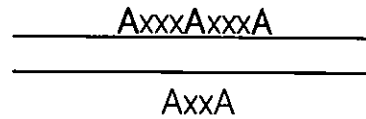
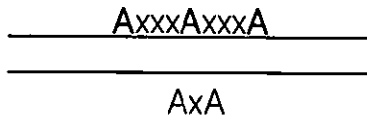
Maximum overhead door permitted is height 8'. The height above overhead door should not exceed 18". Overhead doors will be an upgraded product appropriate to style and painted to blend with the exterior.

Examples of acceptable door styles:



Repetition

Similar or approximately identical elevations must not be repeated within three lots or directly across the Street.



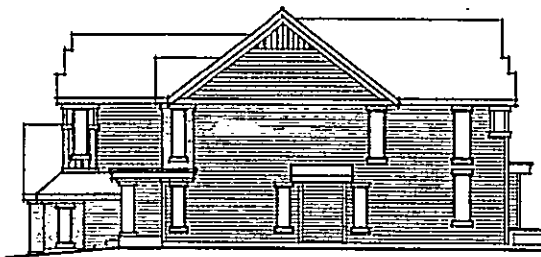
- Lots designated high or moderate visibility at the rear elevation, will address repetition at both the front and rear elevations.
- To ensure diverse and interesting streetscape, predominance of style will be no more than fifty per cent of the streetscape. Example: Twelve lot eyebrow or cul de sac = maximum six homes of a single design style.
- In no case should a style be repeated more than two lots in a row.



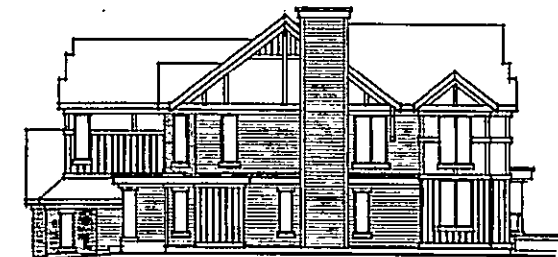
Corner Lots

Special design consideration is required with a higher standard applied for lots on, or visible from collector roadways. Flanking side elevation on corner lots must have full front elevation treatment.

- Substantial roof line between 1st and 2nd floor. This roof line must be supported by projections and intersect with same in order to **appear intentional**
- Relief in wall plane is required (jogs/box outs)
- Appropriate roof overhangs
- Number of openings suited to wall area (**avoid blank wall space**)
- Detailing consistent with the front elevation, including grills and trims
- Window configuration and groupings consistent with front and styling
- Appropriate massing



Inappropriate Corner Treatment
'Modern Beach'



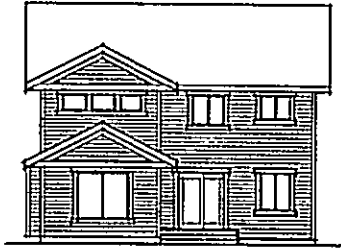
Appropriate Corner Treatment
'Modern Beach'

Visibility Lots, Special Consideration

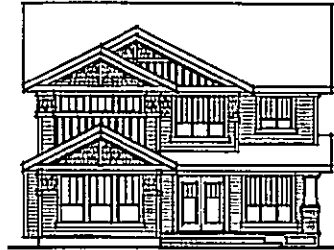
High Visibility Lots

Block 11, Lots 2 - 5

Homes backing onto the lake amenity require special design consideration at the rear elevation. These elevations must reflect appropriate massing, window placement and stylistic distinction consistent with the front elevation. Variation in wall plane and substantial roof mass between floors is required. Minimum width requirements apply at the rear, for high visibility lots.



Inappropriate High Visibility Rear Treatment

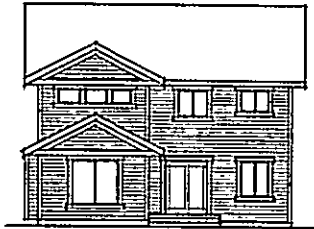


Appropriate High Visibility Rear Treatment

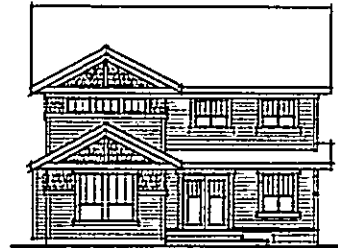
Moderate Visibility Lots

Block 11 Lots 6 – 17 and Block 4 Lots 44- 52

Homes backing onto the trail require special design consideration at the rear elevation. These elevations must reflect appropriate massing, window placement and stylistic distinction. Variation in wall plane and substantial roof mass between floors is required. Minimum width requirements DO NOT apply at the rear, for moderate visibility lots.



Inappropriate Moderate Visibility Rear Treatment



Appropriate Moderate Visibility Rear Treatment

Walk Out Lots

The rear elevation of these homes must present an integrated building form. A combination of architectural measures will be required to address suitable proportions and to avoid a towering appearance. Graduated roof lines sloping to view, dormers, decks, detailing and articulated facades, will be some of these measures. The distance from grade to the first substantial roof line will not be more than 20'. Decks must be constructed concurrently.



Inappropriate Walkout



Appropriate Walkout

Roof Massing

Roof shapes and slopes are a major component in the expression of architectural styles in Jensen Lakes.

Roof Shape, Slope and Overhangs

The roof slope and overhang are to be specific to style profile.

- 8" fascia is the minimum requirement for the Modern Beach, French Country, Craftsman, Prairie and Coastal Farmhouse styles.
- The Coast Nouveau style requires 12" to 16" fascia.
- Cantilevers and box outs on visible elevations must include a separate roofline and minimum overhang.

Flues and Chimneys

All flues and chimneys are to be fully finished in a manner that is suitable to the architectural style.

- Flues must be contained in a finished box-out or chase to match the exterior of the home.
- Corbelled chases are recommended in highly exposed locations.

Front Entrances

The style profiles (page 5 & 6) outline the characteristics of each particular architectural style.

Front Entries

Front entries are to be designed to be an integral part of the front elevation of the homes and provide an interesting and inviting focal point.

- The 'Lakestyle' is low and grounded. Generally, three or less risers at the entry step, reinforces this style.
- Front entry steps are restricted to a maximum of four risers per set. Where the grade or design call for more than four risers, the run must be split.
- Entranceways will be covered at the first level.

Entry Doors

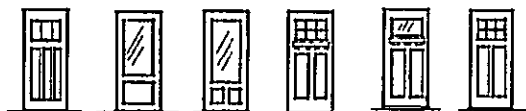
The entry door will be the final detail in creating distinction and exemplifying the style persona.

- Door styles are to suit the architecture of the home.
- The following illustrations are standard production door styles readily available from local suppliers.

Prairie



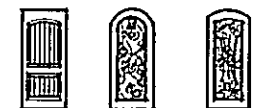
Craftsman



French Country/Tudor



Modern Beach



Coast Nouveau



Materials and Colours

Shingles

Roof shingles, in a range of earth tone colors only, that are approved for use include:

- IKO Cambridge,
- BP Mystique,
- Gaf Timberline,
- Owens Corning Duration,

Other roofing products will be considered on an individual basis.

Exterior Cladding

Exterior materials are to be well suited to the architectural style. See style profiles on pages 5 & 6 for details.

Exterior cladding will include:

- Hardie Board siding
- Stucco in a fine Sand or Float finish
- Acrylic stucco
- Brick or stone in stacked application.

Notes:

- Vinyl siding and shakes are not permitted in the Shoreline collection areas of Jensen Lakes.
- Masonry product is required at the front elevation of all homes and is to be designed in a manner to suit the architectural style.

Trims

Trim details will be Smart Board or Hardie trim, in size appropriate to style.

- All masonry and trim detailing returned 24".

Colours

Colours are an integral element of reinforcing the design style and lifestyle of Jensen Lakes. Sample color palettes have been provided and reflect the materials, finishes and colors appropriate to specific architectural style. All colour submissions will be reviewed on an individual basis and alternative colours will be recommended when necessary.

- Shades have been selected from the middle of the spectrum with trims and fascia restricted to light, soft contrasts for a fresh, new aesthetic.
- Trim and fascia must be a single colour.
- The entry door will be an accent colour that is not a tone of the primary colours. The accent colour may be bright, bold or a softer beach tone.

**On stucco exteriors in the 'light palette' for the French Country and Modern Beach styles, trim matching the stucco cladding will be considered on an individual basis.*

Additional Requirements

Accessory Buildings

Where structures are visible from public adjacencies exterior finish, style, and color shall compliment those used on the house.

- Roof style and materials are to match the materials used on the roof of the house.
- The side wall elevations of all accessory buildings/sheds shall not extend higher than adjacent fencing.
- Accessory buildings on lots backing onto an amenity with decorative metal or chain link fencing, must be a minimum of three meters back from the rear fence line.

Landscaping

Landscaped yards in Jensen Lakes will be filled with windswept grasses and lake inspired flora, creating a welcoming path to the front entry. The lake look is casual and tidy.

- Greenery should fringe the concrete hard surfaces to soften.
- Large rocks and dry river rock beds may incorporate wood features such as benches or stumps, with thick rope accents.
- Shaded areas will be created with billowy shrubs and trees, mixed with pine and spruce evergreens.
- Tree and shrub colors should be a mix of tones while flowering varieties should emulate sea glass, with soft pinks, purples, creams and blues.

Minimum Requirements

The minimum standard for front yard landscaping includes sod, one tree and a separate edged shrub bed(s) with 12 shrubs.

- Edging may be landscape vinyl, brick, stone, or wood landscape ties.
- Wood and rock mulch will be restricted to no more than fifty percent of the landscaped area.
- Six of the twelve required shrubs may be substituted by four perennials each.
- Minimum tree size for deciduous is 2" and for coniferous, 6'.
- Minimum shrub size is 18" in height or spread.

Fencing

All wood screen fencing must be consistent in design and color with the fencing style established for the neighborhood. See fencing detail attached (Appendix 'C').

- The rear property line at lots backing onto the future Multi-use Trail will have a wood screen fence installed by the developer.

Fencing Color

- At the discretion of the HOA.

Accessories

A standard address plaque must be permanently affixed.

Process of Approval and House Construction

Final Approval

These requirements may be altered, amended or varied by the Architectural Committee at its sole and absolute discretion and without prior notice. The Architectural Committee retains the full discretion to approve or disapprove any or all elements of a proposed development or structure. The Vendor, the Architectural Consultant, their servants, agents, contractors, appointees, shall not be held responsible or liable for the accuracy, enforcement or compliance with these Landscape and Design Requirements to any Owner, Purchaser, and/or Builder within the Subdivision.

Appendix 'A' – Sample Colour Schemes

Jensen Lakes Phase 1A - Shoreline Collection Sample Color Schemes by Style

| Craftsman | Wall cladding | Fascia | Trim | Shakes | Entry Door | Brick/Stone |
|----------------|-----------------------|--------|-------|-----------------|-------------------------|-----------------------|
| Hardie (light) | Heathered Moss | Bone | Bone | Sandstone Beige | A0557 Whole Wheat | La Plata Bluffstone |
| Stucco (light) | Sierra Sunset 820-3P | Grey | Grey | White | A1244 Still Waters | Sierra Mountain Ledge |
| Hardie (Dark) | Evening Blue | Grey | Grey | Cobblestone | A1901 Shenandoah Valley | Mineral Bluffstone |
| Stucco (Dark) | Venetian Crush 274-6P | White | White | Navajo Beige | A1237 Seven Lakes | Cascade Rustic Ledge |

Suited Stone Profiles - Mountain Ledge, Rustic Ledge, Cliffstone, Bluffstone

| French Country | Well cladding | Fascia | Trim | Leaves/Shutters | Entry Door | Brick/Stone |
|----------------|-------------------------|--------|--------|-----------------|----------------------|-----------------------|
| Stucco (light) | Greenwich Village 16-1P | Grey | Grey | Cobblestone | A1552 Picket | Bergamo Hillstone |
| Stucco (light) | Frosted Dawn 53-3P | Wicker | Wicker | Navajo Beige | A1363 Balkan Sea | Lucera Hillstone |
| Stucco (Dark) | Suede 830-6P | Bone | Bone | Cobblestone | A1880 Tennessee Haze | Andante Field Ledge |
| Stucco (Dark) | Taupe 25-6P | Wicker | Wicker | Monterey Taupe | A0767 Desert Valley | Orchard Cypress Ridge |

Suited Stone Profiles - Cypress Ridge, Cobblestone, Hillstone, Field Ledge, Cliffstone

| Modern Beach | Wall cladding | Fascia | Trim | Panel | Entry Door | Brick/Stone |
|----------------|--------------------|--------|-------|--------------|----------------------|-------------------|
| Stucco (light) | Pagan Stone 820-1P | Grey | Grey | Light Grey | A1272 Sandstone Blue | Nantucket Stacked |
| Stucco (light) | Pink Grit 136-1P | Bone | Bone | Navajo Beige | A1225 Deep Pool | Dry Creek Stacked |
| Stucco (Dark) | Shadow Grey 16-6P | White | White | Pearl Grey | A0461 Cheerful Coral | Nantucket Stacked |
| Hardie (Dark) | Monterey Taupe | Bone | Bone | Cobblestone | A0991 Shy Blossom | Alderwood Stacked |

Suited Stone Profiles - Stacked, Mountain Ledge, Ledgecut

| Prairie | Wall cladding | Fascia | Trim | Panel | Entry Door | Brick/Stone |
|----------------|-------------------------|--------|--------|----------------|------------------------|-----------------------|
| Hardie (light) | Aged Pewter | Clay | Clay | Navajo Beige | A0733 Grand Canyon | Nantucket Stacked |
| Stucco (light) | Dakota Bonfire 283-6P | Wicker | Wicker | Cobblestone | A0988 Marian's Meadow | Alderwood Stacked |
| Hardie (Dark) | Timberbark | Grey | Grey | Monterey Taupe | A1321 Lakemont Blue | Monterey Cliffstone |
| Stucco (Dark) | Chocolate Clear 295A-6A | Wicker | Wicker | Autumn Tan | A1293 Smoked Turquoise | Sierra Mountain Ledge |

Suited Stone Profiles - Stacked, Mountain Ledge, Cliffstone, Brick

| Coast Nouveau | Wall cladding | Fascia | Trim | Shakes | Entry Door | Brick/Stone |
|----------------|-----------------|--------|------|-----------------|--------------------------|-------------------------------------|
| Hardie (light) | Pearl Grey | Grey | Grey | Cobblestone | A0445 Sun Kiss | Profil Ledgestone, Southwest Blend* |
| Hardie (light) | Sandstone Beige | Bone | Bone | Navajo Beige | A1356 Blue Jay | Drystack Ledgestone, Caramel* |
| Hardie (Dark) | Autumn Tan | Bone | Bone | Sandstone Beige | A1250 Bluff | Profil Ledgestone, Platinum* |
| Hardie (Dark) | Monterey Taupe | Bone | Bone | Cobblestone | A1236 Prince Edward Isle | Courtesy Ledge, White Oak* |

Suited Stone Profiles - Rustic Ledge, Stacked

Trim Selections - by Style

| | Bone | Wicker | Ivory | Grey | White | Clay |
|----------------|------|--------|-------|------|-------|------|
| Prairie | | ✓ | | ✓ | | ✓ |
| Coast Nouveau | ✓ | ✓ | | ✓ | | |
| Craftsman | ✓ | ✓ | ✓ | ✓ | ✓ | |
| French Country | ✓ | ✓ | | ✓ | | ✓ |
| Modern Beach | ✓ | ✓ | | ✓ | ✓ | |

*Stucco colours referenced are matched

*Stone referenced is manufactured by Bazzano under name 'Baz'

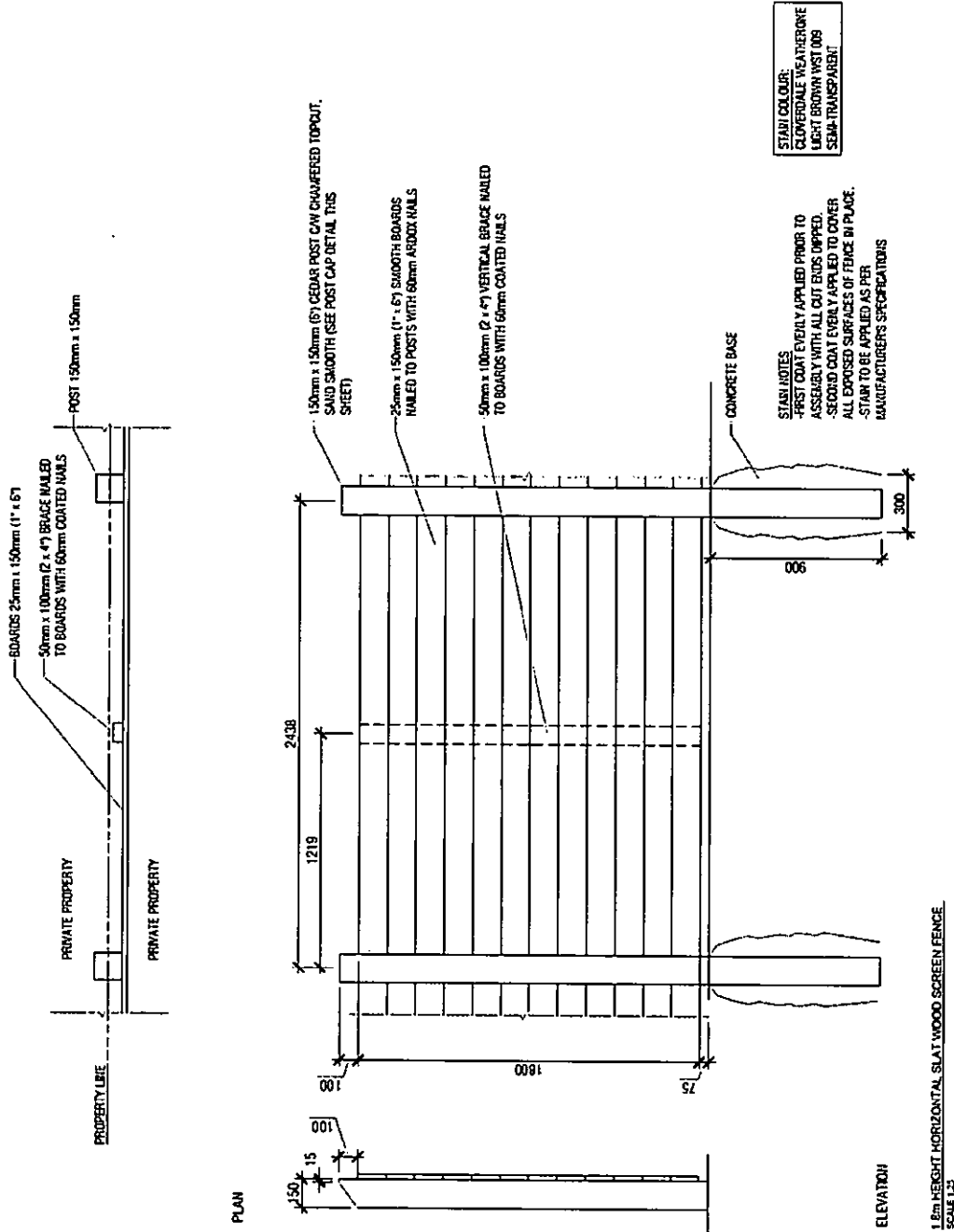
Longboard colour referenced are manufactured by Hays

Entry door paint colour referenced are Hays

*Shake and panel colours referenced are Hays

Fascia and trim selections are limited to the following: Bone, Wicker, Ivory, Grey, White and Clay

Appendix 'B' – Fencing Detail



FENCE DETAIL

December 21, 2015
EO: 35978 600

MELCOR JENSEN LAKE



1.8m HEIGHT HORIZONTAL SLAT WOOD SCREEN FENCE SCALE 1:25

Appendix 'C' – Directory

Developer:

Villeneuve Communities / Melcor Developments

Contact: Michaela Davis

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IBI Group Inc.

Initial Architectural Consultant

Evans 2 Design Group

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Calgary AB T2G 4Y8

Ph: 403 256-5123

Email: support@evans2design.com



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CAVE - CAVEAT

DOC 3 OF 3 DRR#: D007HR8 ADR/CELDER

LINC/S: 0039157251 +